

## ARTICLE 15 LANDSCAPE STANDARDS

### Section 15.01 Intent

The intent of this article is to promote the public health safety and welfare by establishing minimum standards for the design, installation and maintenance of landscaping as buffer zones between zoning districts, between adjacent buildings and at site entrances.

The standards of this article are intended to guide and encourage the protection and enhancement of the environment through requirements for site design and the use of landscape materials. Implementation will minimize negative impacts on adjacent land uses including, but not limited to air pollution, glare, violation of privacy, trash and dirt. Applicants are encouraged to provide landscaping in addition to the minimum requirements of this ordinance to improve the function, appearance and value of their property.

### Section 15.02 Application

The requirements set forth in this article shall apply to all uses for which site plan review is required. No site plan or land use shall be approved unless said site plan includes landscaping consistent with the provisions of this article.

The Planning Commission may also determine that dimensional conditions unique to the parcel would prevent development of required buffer zones, off street parking area, landscaping or green belts. If such a determination is made, the planning commission may grant an exception from the landscaping provisions of this article.

The following are minimum landscape standards and nothing will preclude the developer and Village from agreeing to more stringent standards. If applicable, this determination will be made during site plan review.

#### A. Landscape Plan Required

A separate detailed landscape plan shall be submitted as part of a site plan review. The landscape plan shall include, but not be limited to the following items:

1. Minimum scale of one (1) inch to twenty (20) feet. A scale of one (1) inch to one hundred (100) feet may be used for parcels over five (5) acres in size.
2. Name of applicant and consultant (if applicable) and contact information.
3. Existing topographic survey including a description of vegetation, pavement, structures, utilities and right of way.
4. Proposed plant location, spacing, size and species (common and botanical name).
5. Existing and proposed contours on-site and one hundred (100) feet beyond the site at intervals not to exceed two (2) feet for projects involving new construction. This provision will not be required for site plans involving redevelopment of existing buildings.
6. Straight cross section including slope, height and width of berms and type of ground cover, or height and type of construction of wall or fence, including footings.
7. Significant construction details to resolve specific site conditions, such as tree wells to preserve existing trees or culverts to maintain existing natural drainage patterns.
8. Planting and staking details in either text or drawing form to ensure proper installation and establishment of proposed materials.
9. Soil erosion control plan and restoration detail identifying limits of the project.
10. Calculation showing required and proposed landscaping.

11. Identify landscaping elements, proposed or existing, that address landscaping requirements of this ordinance.
12. On site plans involving expansion or redevelopment of existing structures. Clearly identify existing vs. proposed structures and landscaping.

**Section 15.03 Minimum Buffer Zones**

**A. Level of Use**

For the purposes of determining the density and type of coverage in the required buffer zone, zoning districts have been classified based on level of use, as follows:

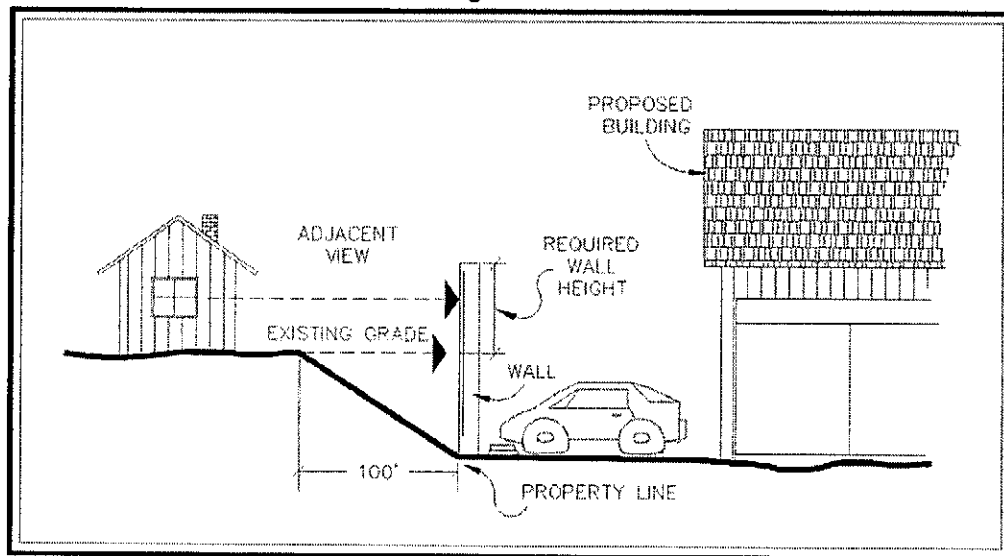
**Table 15-1 Level of Use**

Level of Use	Land Use
Level 1	Single family residences, duplexes, vacant land zoned A-1, R-1 or R-2
Level 2	Offices, multi-family, commercial or institutional uses without outdoor activity, sales or storage, vacant land zoned R-3, R-4, or B-1
Level 3	Commercial or institutional uses with outdoor activity, sales or storage, all industrial uses, vacant land zoned B-2 or M-1

**B. Buffer Zone**

A buffer zone shall be provided within the setback between the subject site and all adjacent properties according to Table 15-1 and 15-2. Walls/fences and berms with a height greater than 36 inches shall typically be prohibited along a public street right of way or in a front yard unless specifically approved by the Planning Commission. The height requirement of a wall/fence or berm shall be measured from the existing grade at the principal structure (within 100 feet of the property line) nearest to that property, to the top of the proposed berm or wall on the applicant's site (see Figure 15-1). All walls/fences shall meet the standards described in Section 15.03.D. Buffers utilizing a combination of plant materials, berming and walls/fences shall be encouraged.

**Figure 15-1**



**Table 15-2 - Buffering For Property Side and Rear Yard**

Level of Use of Subject Site	Level of Use of Adjacent Site		
	Level 1*	Level 2*	Level 3
Level 1	None	None	None
Level 2	Type II	None	Type I or a 5 foot high wall/fence/ berm
Level 3	Type III or a minimum 5 foot high wall/fence/berm	Type I or a minimum 5 foot high wall/fence/ berm	None

All property line distances shall be rounded upward to the nearest foot. See Table 15-3 for buffer type requirements.

\*Where the adjacent property, including property across a public street or private road, is zoned or used as single family residential, the Planning Commission may require additional landscaping (trees, shrubs, wall or berm) along the property line or within the site to sufficiently screen the parking lot, vehicle headlights, loading zones, outdoor display areas, storage yards, accessory structures, or use.

\*When a land use increases in intensity, the Planning Commission shall review the site plan to determine if additional buffer material is required and to what extent and type.

**Table 15-3 - Buffer Zone Plantings**

	Width	Minimum required plantings per 100 lineal feet (both coniferous and deciduous plantings required)		Alternate to Plantings	
		Coniferous Trees*	Deciduous Trees	Berm	Fence
I	20'	four (4)	no	yes	no
	15'	five (5)	no	no	yes
	10'	six (6)	no	no	yes
II	25'	four (4)	one (1)	yes	no
	20'	five (5)	one (1)	yes	no
	15'	six (6)	two (2)	no	yes
	10'	six (6)	two (2)	no	yes
III	30'	four (4)	one (1)	yes	no
	25'	four (4)	one (1)	yes	no
	20'	five (5)	two (2)	yes	no
	15'	five (5)	three (3)	no	yes

\*Ornamental trees and evergreen shrubs can be substituted on a two to one (2:1) ratio up to fifty (50%) of the required material.

**C. Parking and Storage**

When a parking lot is proposed to be located on a parcel of property zoned A-1, R-1, R-2, R-3, or R-4 a buffer zone is required as follows:

- 5-15 spaces = type I buffer
- 16-30 spaces = type II buffer
- 31+ spaces = type III buffer

When a parking lot or entry drive is proposed adjacent to commercial land, a minimum 10 foot green belt is required. This width can be shared between properties as approved by the planning commission.

D. Wall or Fence Standards

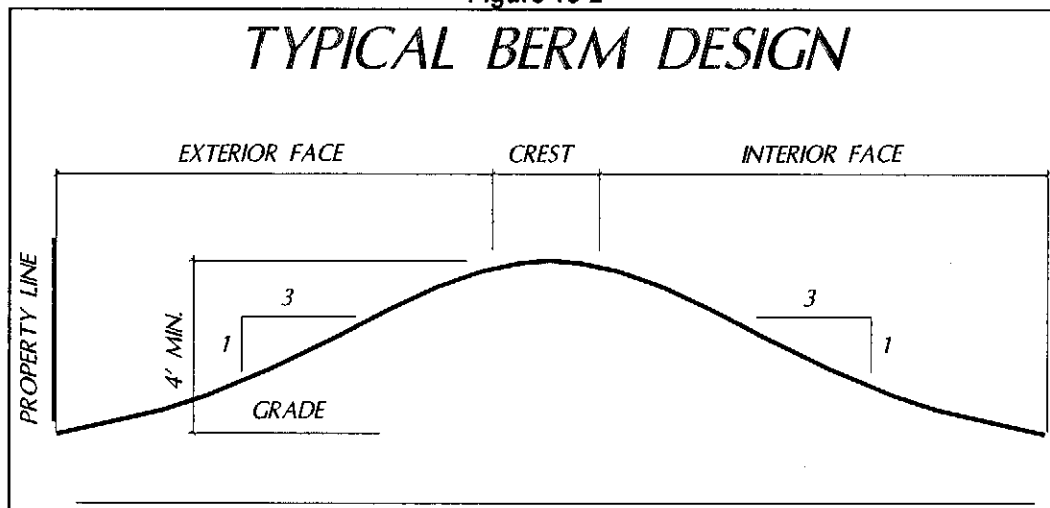
Required walls or fences shall comply with the standards listed below.

1. Walls or fences must be maintained in good condition by the property owner.
2. The finished side or most visibly attractive side of a wall or decorative wood fencing shall face the exterior of the property line. Posts shall be on the side of the wall or fence facing the interior of the lot or parcel of land upon which the wall or fence is constructed.
3. Fences in non-residential zoned areas and for the purpose of storage and/or garbage shall be opaque in nature, board on board style or solid masonry, six (6) feet in height.
4. No fence, wall or hedge plantings shall exceed a height of three (3) feet within twenty-five (25) feet of any street right-of-way line.
5. Fences, walls or structural screens shall not exceed three (3) feet in any front yard within the R-1, R-2, R-3 or R-4 zoning districts for the length of the fence.

E. Berm Standards

Required berms shall be constructed as landscaped earth mounds with a crest area at least three (3) feet in width. The exterior face of the berm shall be constructed as an earthen slope. The interior face of the berm may be constructed as a earthen slope or retained by means of a wall, terrace or other means acceptable to the Zoning Administrator or Planning Commission depending on who has site plan approval. Proper and adequate drainage for adjacent properties shall be maintained. Whenever an earthen slope is provided, it shall be constructed with a slope not to exceed one (1) foot of vertical rise to three (3) feet of horizontal distance (1:3) (see Figure 15-2). Free form naturalistic contouring and berm shaping is encouraged.

Figure 15-2



**Section 15.04 Existing Tree Preservation Incentives**

The standards outlined below are intended to encourage the preservation of quality and mature trees on the subject parcel by providing credits, at Planning Commission approval, toward the required trees for green belts, buffer zones, and ten (10) percent site landscape.

- A. All trees over eight (8) inches caliper\* shall be identified on the site plan with notations of trees to be preserved and trees to be removed.
- B. Trees intended to be preserved shall be noted with a unique symbol on the site plan and be protected during construction through the use of construction fencing at or beyond the dripline of the tree or trees to be preserved.
- C. Trees to be preserved shall be considered for credit only if they are located on the developed portion of the site as determined by the Planning Commission. The Planning Commission pursuant to site plan approval may allow credit for such plant material preservation if it will maintain and encourage the intent of the ordinance. To obtain credit consideration the preserved trees shall be of a high quality and at least two and a half (2 ½) inches caliper.
- D. Credit consideration for preserved trees shall be:

**Table 15-4 - Credit Consideration for Preserved Trees**

Preserved Tree Caliper*(inches)	Number of Trees to be Credited
12 inches and over	3
8 inches to 11.99 inches	2
2 ½ inches to 7.99	1

*\*Caliper is the diameter of a tree trunk and shall be measured at a height six (6) inches above the existing grade up to and including four (4) inch caliper size and twelve (12) inches above the existing grade for larger sizes.*

- E. To protect and encourage the continued health and vitality of the preserved trees, the ground within the dripline of the trees shall be maintained in the existing natural state. Storage of soils, construction equipment or other materials during or after construction within the tree dripline is prohibited.
- F. If preserved trees die within three (3) years after construction, the property owner shall replace with the number of trees that would have been required had the tree preservation credit not been provided. Said trees shall be replaced within thirty (30) days of written notice from the village or within an extended time period as specified in said notice.
- G. The minimum number of required trees shall not be reduced by less than fifty (50) percent through the use of approved tree credits, unless the Planning Commission during site plan review determines that existing vegetation intended to be preserved would provide landscaping, buffering or screening comparable to that required under this article.
- H. For a period of three (3) years following a site plan approval, special permission by the Planning Commission will be required for the removal of trees proposed to be preserved

on the site plan. The Planning Commission may condition their removal on their being replaced with the number of trees that would have been required had the tree preservation credit not been provided prior to site plan approval.

**Section 15.05 Ten (10) percent site landscape requirement**

- A. In addition to any buffer zone, or green belts required by this article, in all developments other than single family detached and attached residences, ten (10) percent of the total site area excluding existing thoroughfare right of way shall be landscaped with plant materials. Preservation of quality and mature trees on the subject parcel is encouraged through the "existing tree preservation incentives" Section 15.04 of this Ordinance through credits towards the ten (10) percent site landscape requirement.
- B. Required landscaping shall be provided adjacent to or within close proximity to the perimeter of the principal structure. Landscape design is encouraged to face or be visible from public thoroughfares and principal structures on public access ways. A minimum of two-thirds (2/3) of the required Landscaping must be located within the front or side yard set back to be counted.
  - 1. Plant material and planting design is encouraged to be ornamental in character and based on minimum standards for plant material type and spacing.
  - 2. Deciduous canopy trees and large evergreens will not be credited for ten (10) percent landscape requirements.
  - 3. Shredded hardwood, bark mulch, stone mulch, or vegetative ground covers shall be utilized within required landscape areas. Grass, lawn or sod will not be credited for principal structure landscape requirements.

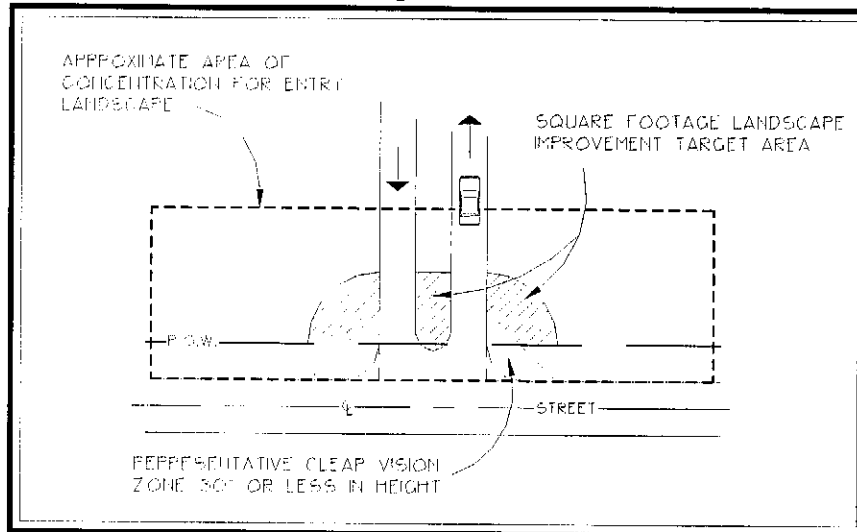
**Section 15.06 Residential Development Entry Landscaping**

Landscaping shall be required at vehicular entry points for residential developments including subdivisions, condominium developments, multi-family developments, retirement communities and other developments.

- A. For residential developments which do not otherwise require landscaping as defined in Section 15.05 of this Ordinance, vehicular entry points shall require landscaping. This shall consist of a minimum of three hundred (300) square feet of landscaping which meets the standards in Section 15.05 B of this Ordinance. Landscaping shall be generally provided in the area delineated in the following illustration.
- B. For residential developments which require landscaping, landscaping for residential development entries shall be counted toward the ten (10) percent landscaping requirement in Section 15.05 of this Ordinance. Residential development entry landscaping shall meet the requirements contained in this article. Landscaping shall be generally provided in the area delineated in Figure 15-3.
- C. Plant material and planting design is encouraged to be ornamental in character and based on minimum standards for plant material type and spacing listed in the ten (10) percent landscaping requirement in Section 15.05 of this Ordinance. Deciduous canopy trees and large evergreens will not be credited for ten (10) percent entry landscape requirements. Shredded hardwood, bark mulch, stone mulch, or vegetative ground

covers shall be utilized within required landscape areas. Grass, lawn or sod will not be credited for entry landscape requirements.

Figure 15-3



### Section 15.07 Minimum Standards for Installation and Maintenance

#### A. Installation

Landscaping shall be installed in a sound workman like manner and conform to the American Standard for Nursery Stock ANSI Z60.1. If building or paving construction is completed during a planting season, then no certificate of occupancy will be issued unless the landscaping meets the requirements herein provided. If building or paving construction is completed in an off planting season, the certificate of occupancy will be issued only after the owner provides a performance bond equal to the cost of purchasing and installing material to ensure installation of required landscaping as weather permits.

#### B. Material Removal

Tree stakes, guy wires and tree wrap are to be removed by the applicant after one year.

#### C. Maintenance

Greenbelt areas and plant materials required by this ordinance shall be kept free from refuse and debris. Plant materials shall be maintained in a healthy growing condition, neat and orderly in appearance in perpetuity from the time of planting. If any plant material required by this Ordinance dies or becomes diseased, they shall be replaced by the applicant/owner within thirty (30) days of written notice from the Village mailed by certified mail to the owner's last known address or within an extended time period as specified in said notice.

Should owner fail to repair and/or replace planting material, fences or other barriers within the thirty (30) days and the owner fails to provide reason in writing, via certified letter, as to why he/she is unable or not required to make said improvements, the Village shall make the necessary improvements and assess the owner for all costs associated with or arising from same.

### **Section 15.08 Enforcement**

A violation of any provision of this section or non compliance with written notifications pertaining to this section shall constitute a violation of this Ordinance.

### **Section 15.09 Plant Material Specifications**

All plant material shall be free of disease and insects at time of planting, and conform to the American Standard for Nursery Stock of the American Association of Nurserymen ANZI Z60.1. No petrochemical or other non-living material shall be used.

Ground surfaces within the buffer zone shall be a maintained lawn, perennial ground cover and/or attractive mulch (stone, gravel or wood chips) of sufficient depth to prevent the growth of weeds. Mulch shall be properly contained.

#### **A. Suggested Plant Materials**

1. Coniferous Trees: Minimum four (4) feet in height, Red Cedar, White Cedar, Fir, Spruce, Hemlock, Pine.
2. Conifer shrubs: Minimum three (3) gallon pot: juniper, yew.
3. Ornamental Trees: five (5) feet in height or 2 inch caliper, Flowering Crab, Redbud, Hornbeam, Magnolia, Dogwood, Rose of Sharon, Hawthorn, Serviceberry.
4. Large Deciduous Shrubs: Minimum six (6) feet in height, Honeysuckle, Mock-Orange, Lilac, Cotoneaster, Euonymus, Viburnum, Forsythia, Ninebark, Hazelnut, Privet, Sumac.
5. Deciduous Trees: Minimum eight (8) feet in height or 1.5 inch caliper. Oak, Hackberry, Planetree (Sycamore), Sweet Gum, Linden, Maple, Ginkgo (male species), Birch, Honey Locust.
6. Trees and shrubs should be selected that can tolerate our climatic zone, as well as the stresses particular to the site (existing shade, salt tolerance, heat or scorch resistance, etc.).

#### **B. Required Plant Material Spacing**

1. Plant material shall be placed so the drip line shall be no closer than two (2) feet from the fence line or property line when plants are two-thirds of mature size.
2. Where plant materials are planted in two (2) or more rows, planting shall be staggered.
3. Trees shall be planted not more than thirty (30) feet on center.
4. Ornamental trees shall be planted not more than ten (10) feet on center.
5. Large deciduous shrubs shall be planted not more than four (4) feet on center.
6. Natural grouping of material is encouraged.

#### **C. Prohibited Trees**

The following trees are not permitted to be used to meet the requirements of this article as they split easily, their wood is brittle and breaks easily, they bear fruit or seed pods that can stain vehicles, drives and sidewalks and they are unusually susceptible to disease or insect pests.

##### **1. Common Names**

- a. Boxelder
- b. Horse Chestnut
- c. Hickories
- d. Catalpa
- e. Black Walnut
- f. Mulberry



- g. Poplars
- h. Willows
- i. American Elm
- j. Ash

