



**DEPARTMENT OF NATURAL RESOURCES  
STATE OF MICHIGAN  
TIMBER SALE PROSPECTUS #7406**

**SCHEDULED SALE DATE AND TIME: 10:00 a.m. (local time) on April 16, 2024.**

**LOCATION: ATLANTA MGMT UNIT, 13501 M 33, ATLANTA, MI 49709.**

**CONTACT NAME: Matt Foster**

**PHONE NUMBER: (989) 619-5921**

**PROSPECTUS NOTE:** The bidder is advised to inspect the sale area and review the location, estimated volumes, operating costs and contract terms of proposed sales. Please be aware that some landowners may request 60 days or more notice for access across their land.

Notice is hereby given that bids will be received by the Unit Manager, ATLANTA MANAGEMENT UNIT, for certain timber on the following described lands:

Swiss Cheese Aspen (54-025-23) / T29N, R03E, SEC. 33, SE.

Montmorency County, Advertised Price \$80,147.95, 38.8 Acres, Aspen, Hardwood.

SALE NOTE: Good quality timber with variable stocking. Soft Oak Wilt restrictions on Unit 3 due to proximity of young Oak in adjacent stand. No rec trails. Soft ground and steep slopes in areas. Access into sale is fair, but will need some fill and/or grading.

## TIMBER SALE INFORMATION

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A timber sale contract for this lump sum, sealed bid timber sale will be awarded to the responsible bidder offering the highest sealed bid price. All units of volume listed below were estimated using the Inventory Manager computer program and the new Michigan taper model. Bids must be at or above the following advertised price for each product and species:

<u>PRODUCTS &amp; SPECIES</u>	<u>ESTIMATED UNITS*</u>	<u>ADVERTISED PRICE</u>
Sawtimber		
Basswood	9.1 MBF	\$ 63.00 / MBF
Sugar Maple	71.7 MBF	\$ 485.00 / MBF
Pulpwood		
Basswood	50 Cords	\$ 15.80 / Cord
Mixed Aspen	1,463 Cords	\$ 23.85 / Cord
Mixed Hardwood	393 Cords	\$ 23.20 / Cord

\* The total volume is statistically estimated within plus (+) or minus (-) 18.00 percent. There are an estimated 2,055 cords on this timber sale, plus or minus 370 cords at the 95% confidence level. The estimated units are final and not subject to adjustment. Prospective bidders are urged to examine this timber and to make their own estimates of quantity and quality.

### **BOND AND PAYMENT SCHEDULE:**

1. A bond in the amount of \$4,007.40 to insure faithful performance of the conditions of the contract will be deposited by the successful bidder within 21 days of the sale award.
2. Cutting in any sale or unit without the required advance payment would be considered a trespass.
3. Total payment must be paid in advance or according to the following schedule:
  - (a) Ten percent (10%) of the sale value must be paid within 21 days of the sale award.
  - (b) The 10% down payment will be credited towards the first unit cut.
  - (c) Payment for each of the following units must be made before cutting begins in that unit:

PAYMENT UNIT NUMBER	PERCENT OF TOTAL SALE VALUE
01	31.3%
02	37.2%
03	31.5%
4. If no cutting takes place, the 10% down payment will not be refunded.
5. Operations on the contract issued will terminate on 06/30/2026.

### **SALE STATISTICS**

Volumes were calculated in cubic feet using the Michigan taper model. Cubic foot volume includes all wood inside bark for the product indicated. For display purposes, cubic feet were converted to cords and MBF using a simple conversion factor, e.g. 79 cubic feet per cord and 185 cubic feet per MBF. The cubic foot volumes are precise; the cords and MBF volumes are not. Cubic foot volume cannot be directly converted to cords or boards with precision.

### **SALE VOLUMES**

The total estimated sale volume may not equal the sum of the species/products due to the nature of statistical calculations associated with double sampling methodology.

<u>VOLUME</u>			<u>STATISTICAL RANGE IN CORDS</u>	
<u>TOTAL CUBIC FEET</u>	<u>TOTAL CORDS</u>	<u>PERCENT ERROR</u>	<u>MINIMUM</u>	<u>MAXIMUM</u>
162,330	2,055	18.00%	1,685	2,425

**VDU VOLUMES**

A VDU is a Volume Determination Unit. Volumes and their associated statistics are calculated at the VDU level and summarized to the sale level. There is often a one to one relationship between a VDU and a Payment Unit, but not always, depending on the cruise design. Refer to the VDU TO PAYMENT UNIT table.

	VOLUME			RANGE IN CORDS	
VDU	TOTAL CUBIC FEET	TOTAL CORDS	PERCENT ERROR	MINIMUM	MAXIMUM
56	162,330	2,055	18.00%	1,685	2,425
<b>TOTAL:</b>	<b>162,330</b>	<b>2,055</b>		<b>1,685</b>	<b>2,425</b>

**VDU TO PAYMENT UNIT**

When a VDU is associated with more than one Payment Unit (PU), the VDU volumes are assigned to the PU based on acres of the VDU within the PU.

VDU	VDU ACRES	PU	PU ACRES
56	38.8	1	12.1
		2	14.5
		3	12.2
<b>TOTAL:</b>	<b>38.8</b>		<b>38.8</b>

**DESCRIPTION OF TIMBER BY PU (PU)**

PU	MARKET GROUP	PRODUCT	QUANTITY	UNIT	ACRES	ADVERTISE PRICE
1	Basswood	Sawtimber	2.8	MBF	12.1	\$25,046.25
	Sugar Maple		22.4	MBF		
	Basswood	Pulpwood	16	Cords		
	Mixed Aspen		457	Cords		
	B. T. Aspen		278	Cords		
	Quaking Aspen		179	Cords		
	Mixed Hardwood		123	Cords		
	Beech	Sawtimber	0.8	MBF		
	Paper Birch		1.0	MBF		
	Beech	Pulpwood	13	Cords		
	Ironwood		7	Cords		
	Paper Birch		1	Cords		
	Sugar Maple		98	Cords		
	2	Basswood	Sawtimber	3.4		
Sugar Maple			26.8	MBF		
Basswood		Pulpwood	18	Cords		
Mixed Aspen			546	Cords		
B. T. Aspen			332	Cords		
Quaking Aspen			214	Cords		
Mixed Hardwood			146	Cords		
Beech		Sawtimber	0.9	MBF		
Paper Birch			1.2	MBF		
Beech		Pulpwood	16	Cords		
Ironwood			7	Cords		
Paper Birch			2	Cords		
Sugar Maple			117	Cords		
3		Basswood	Sawtimber	2.9	MBF	12.2
	Sugar Maple		22.5	MBF		
	Basswood	Pulpwood	16	Cords		
	Mixed Aspen		460	Cords		
	B. T. Aspen		280	Cords		
	Quaking Aspen		180	Cords		
	Mixed Hardwood		125	Cords		
	Beech	Sawtimber	0.8	MBF		
	Paper Birch		1.0	MBF		
	Beech	Pulpwood	14	Cords		
	Ironwood		7	Cords		
	Paper Birch		1	Cords		
	Sugar Maple		99	Cords		
	TOTAL:			80.8	MBF	
TOTAL:			1,907	Cords		

## **Sale Specific Conditions & Requirements**

**Sale Name: Swiss Cheese Aspen**

**Sale Number: 54-025-23 Seq#: 1**

### **1 - Sale Area**

#### **1.2 - Boundaries**

##### **1.2.1 - Painted boundaries (9/19)**

The sale boundary and Payment Unit boundaries are marked and identified by blue, red and yellow paint. Exterior sale boundary lines against private property are marked with blue paint. Exterior sale boundary lines against state are marked with red paint. Interior Payment Unit boundaries are marked with yellow paint. Retention patches are marked with Red X's; no harvesting activities may occur within these areas. The painted boundary line trees are not Included Timber and are to be protected. Yellow painted trees designating an interior Payment Unit boundary are only to be cut when all surrounding Payment Units have been paid. Johnsons Pond Rd is unpainted and designated as the payment unit line separating Payment Unit 2 from Payment Units 1 & 3

### **2 - Timber Specifications**

#### **2.1 - Included Timber**

##### **2.1.1 - Clearcut unit(s) with unmerchantable trees (6/14)**

Within Payment Unit(s) 1, 2, & 3, cut all trees that are two (2) inches or more at DBH.

### **3 - Payments**

#### **3.3 - Pre-measured Sales**

##### **3.3.4 - Dividing payment units (7/14)**

Payment Unit(s) may be divided at the request of the Purchaser and upon approval of the Unit Manager. Dividing Payment Units is a contract modification which requires a Timber Sale Contract Amendment. There will be only one division per Payment Unit.

### **4 - Transportation**

#### **4.1 - Construction**

##### **4.1.3 - Slash and earthen piles (8/04)**

Piles or windrows of earth along roads and landings that have been widened or constructed shall be leveled. Slash from road maintenance or construction, including stumps, shall be dispersed throughout the sale, chipped, utilized or otherwise removed from the sale.

##### **4.1.6 - Road construction (1/09)**

Construction of new roads or improvements of existing roads shall be done in such a way as to minimize the environmental and visual impacts. Merchantable trees shall be cut and utilized unless otherwise directed. Non-merchantable trees shall be severed and laid flat on the ground. Slash shall be scattered, and not left in windrows and kept a minimum of 10 feet back from the road edge OR be chipped, utilized or otherwise removed from the sale. Stumps shall be set upright, not left on edge, and be moved at least 10 feet away from the road edge. Disturbed soil shall be feathered into the woods and not left in berms or windrows.

##### **4.1.7 - Road closure (10/11)**

All new roads built into the sale must be blocked to vehicle traffic upon completion of the sale. Overgrown roads that are reopened shall be considered new roads. In general, this will require constructing a four (4') foot high berm of stumps and logs covered with earth. Stumps and brush must be placed along the remainder of the trail. These roads must be rendered impassable to cars and trucks. All stumps from road building and landing construction must be reserved to block any newly constructed roads upon completion of the sale. These stumps must be scattered along the road system to prohibit vehicular movement. Temporary berms may be required if no sale activity occurs for 30 or more consecutive days. Contact the sale administrator for specific details of design and placement.

#### 4.1.11 - Permits (2/12)

The Purchaser will secure any necessary permits that may be required.

## 5 - Operations

### 5.1 - Notification

#### 5.1.1 - Pre-sale conference (10/16)

A pre-sale conference on site between the Purchaser and sale administrator is required prior to beginning any operations to determine landing and road locations. The Unit Manager or his/her representative must be contacted at least 5 days in advance to schedule the conference.

#### 5.1.3 - Well heads and natural gas pipelines (11/15)

The Purchaser is responsible for contacting the gas or pipeline company 14 days prior to operating equipment in the vicinity of well heads or natural gas pipelines.

#### 5.1.4 - Post-sale conference (10/16)

A post-sale conference on site between the Purchaser and sale administrator is required 5 days prior to the completion of active logging operations to determine clean-up and repair of landings, road edges, and the fulfillment of other contract specifications.

### 5.2 - Conduct of Operations

#### 5.2.1 - Slash

##### 5.2.1.8 - Slash height (12/08)

No slash or tree tops may exceed 36 inches in height. Slash must be scattered and not windrowed.

#### 5.2.2 - Hazard Trees/Snags

##### 5.2.2.1 - Den trees (10/16)

Obvious hollow and/or den trees shall be protected and left standing unless they are a safety hazard.

#### 5.2.3 - Operating Restrictions

##### 5.2.3.5 - Oak wilt restriction (1/18)

Within Payment Unit 3, unless changed by written agreement, cutting, skidding, hauling within the sale and brushing of access roads to the sale are not permitted during the period of April 15 to July 15. Operations may be allowed if specific steps are taken to prevent damaging uncut oak during the high risk period. Those steps may include completing all road brushing before April 15th and clearing a tree-length buffer along uncut oak cover before April 15th. This is necessary to reduce the spread of oak wilt. For more information, contact the Unit Manager or his/her representative.

#### 5.2.4 - Dead and Down Creation

##### 5.2.4.2 - Dead and down creation, hare and grouse (1/14)

To improve habitat for snowshoe hare, grouse, and other species, the Purchaser is to leave two 14 inch diameter or larger log size pieces on the ground for every two acres. They should be scattered throughout the sale or positioned per the sale administrators instructions. If possible, the logs or trees should be felled so they overlap and with the root ball still attached. Note these pieces should have a minimum length of twenty feet. They can be of any tree species and can be an un-merchantable piece of wood or a full tree.

#### 5.2.32 - Decking/landing restoration (9/13)

All decking and landing areas must have the surface area restored to a condition equal to or better than before. This is to ensure the proper regeneration of the stand. Wood debris, chips and "cookies" from trimmings must be removed or scattered away from landing and loading areas and may not be windrowed on the edge.

#### 5.2.38 - No decking against live trees (2/04)

Cut products may not be decked against unmarked or designated leave trees.

### 5.4 - Soil Protection

#### 5.4.4 - Slope protection (9/19)

Skid trails and roads on slopes shall be water barred with slash and stumps as soon as use is complete to prevent erosion.

#### 5.4.5 - Soil caution (11/04)

Soft ground present within portions of Payment Unit 1 and 3. Utilize caution when operating in these areas. General Rutting spec applies.

### 5.8 - Protection of Endangered Species

#### 5.8.5 - Protection of raptor nests (3/13)

All trees with raptor nests will be protected if found during harvesting operations. Notification will be made to the Unit Manager or his/her representative who will notify the Wildlife Biologist so an on-site evaluation and recommendation can be made, if necessary.

## 6 - Safety and Fire Prevention

### 6.2 - Signing

#### 6.2.1 - Road posting (10/20)

The Purchaser is responsible for posting and maintaining caution signs on Johnsons Pond Rd prior to beginning operations. The road must be posted at appropriate distances from the sale area to warn of logging activity and truck traffic. Signs must be removed when harvest operations are suspended or completed. The Purchaser will provide these signs.

**TIMBER SALE MAP**

This information provided by authority of Part 525, 1994 PA 451, as amended.

Sale Number	Year
54-025	23

Forest Management Unit	County	Mapped By	Date	Page	of
Atlanta Management Unit	Montmorency	T. Kubitskey	7/26/2023	1	1
Township	Range	Section(s) and Subdivision(s)	Scale		
29N	03E	Sec 33 SE1/4	1:7,920		

Cover Type				Density	
A = Aspen	H = Hemlock	N = Marsh	U = Upland Brush	0 = Non Stocked	5 = Pole Timber Medium
B = Paper Birch	J = Jack Pine	O = Oak	UM = Upland Mixed	1 = Seedling Sapling Poor	6 = Pole Timber Well
C = Cedar	L = Lowland Brush	P = Lowland Poplar	V = Bog or Marsh	2 = Seedling Sapling Medium	7 = Saw Timber Poor
D = Treed Bog	LM = Lowland Mixed	Q = Mixed Swamp Conifer	W = White Pine	3 = Seedling Sapling Well	8 = Saw Timber Medium
E = Swamp Hdwoods	M = Mpl, Bch, Brch	R = Red Pine	X = Non Stocked	4 = Pole Timber Poor	9 = Saw Timber Well
F = Spruce Fir	MC = Mixed Conifer	S = Black Spruce	Z = Water		
G = Grass	MD = Mixed Deciduous	T = Tamarack			

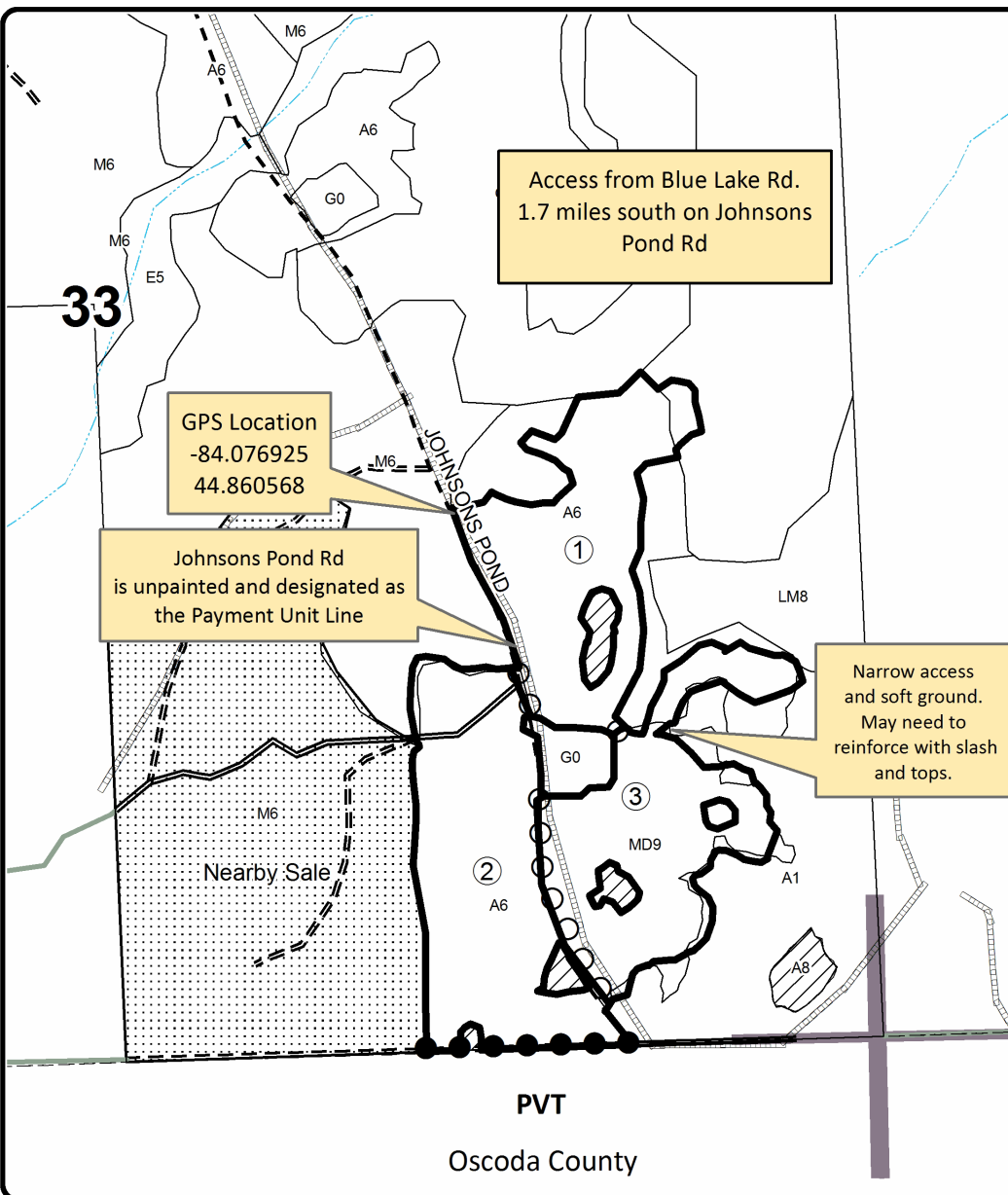
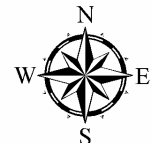
**PU Acres**

1	12.1
2	14.5
3	12.2

**Swiss Cheese Aspen**

Compartment 18

38.8 Acres

**Legend**

- Against State (Red)
- ○ Payment Unit (Yellow)
- ● Private Line (Blue)
- ▨ Retention Area (Red X's)
- ▤ Nearby Timber Sales
- Stand Boundaries
- == Secondary Forest Road
- == Forest Access Route
- - Gravel Road
- Private
- Intermittent Stream
- Perennial River
- ② Payment Unit
- PVT Private Property
- Section Corners

**Locator Map**

1:125,000

